

**ANNUAL LANDOWNER'S MEETING OF
THE RANGER DRAINAGE DISTRICT
JUNE 3, 2026**

The Annual landowners Meeting of the Ranger Drainage District was held on Wednesday, June 3, 2026, at 6:30 P.M. at the Ranger Drainage District Office located at 19950 Nugent Street, Orlando, Florida. Present were Supervisors Dave Mauck, Mike Nolan and Russ Beyersdorf. There were 2 landowners in attendance.

QUORUM

Mr. Seth Behn announced that the landowners present established a quorum. Mr. Behn was appointed Chairperson for the meeting.

ELECTION

The polls were opened for all the landowners voting in person.

ANNUAL ENGINEER'S REPORT

Mr. Wilson Way with Wohlfarth Consulting Group presented the 2026 Engineers Report. Mr. Way reported on the continued maintenance and growth within the District this past year. See attached report.

TREASURER'S REPORT

Mr. Agarwal's report on the financial state of the District was read into the record by Mr. Behn. The financial state of the District ending September 30, 2025 was sound and stable. See attached report.

Mr. Agarwal stated that budget for 2026-2027 was going up 14% due to the Mittan Litigation case.

LANDOWNERS COMMENTS

The Board heard comments from the landowners in attendance.

ELECTION RESULTS

Candidate Dave Mauck	205 Votes
Candidate Gary Mittan	15 Votes
Abstain	0 Votes
Write In:	0
For Compensation	168 Votes
Against Compensation	35 Votes
Abstain Compensation	5 Votes

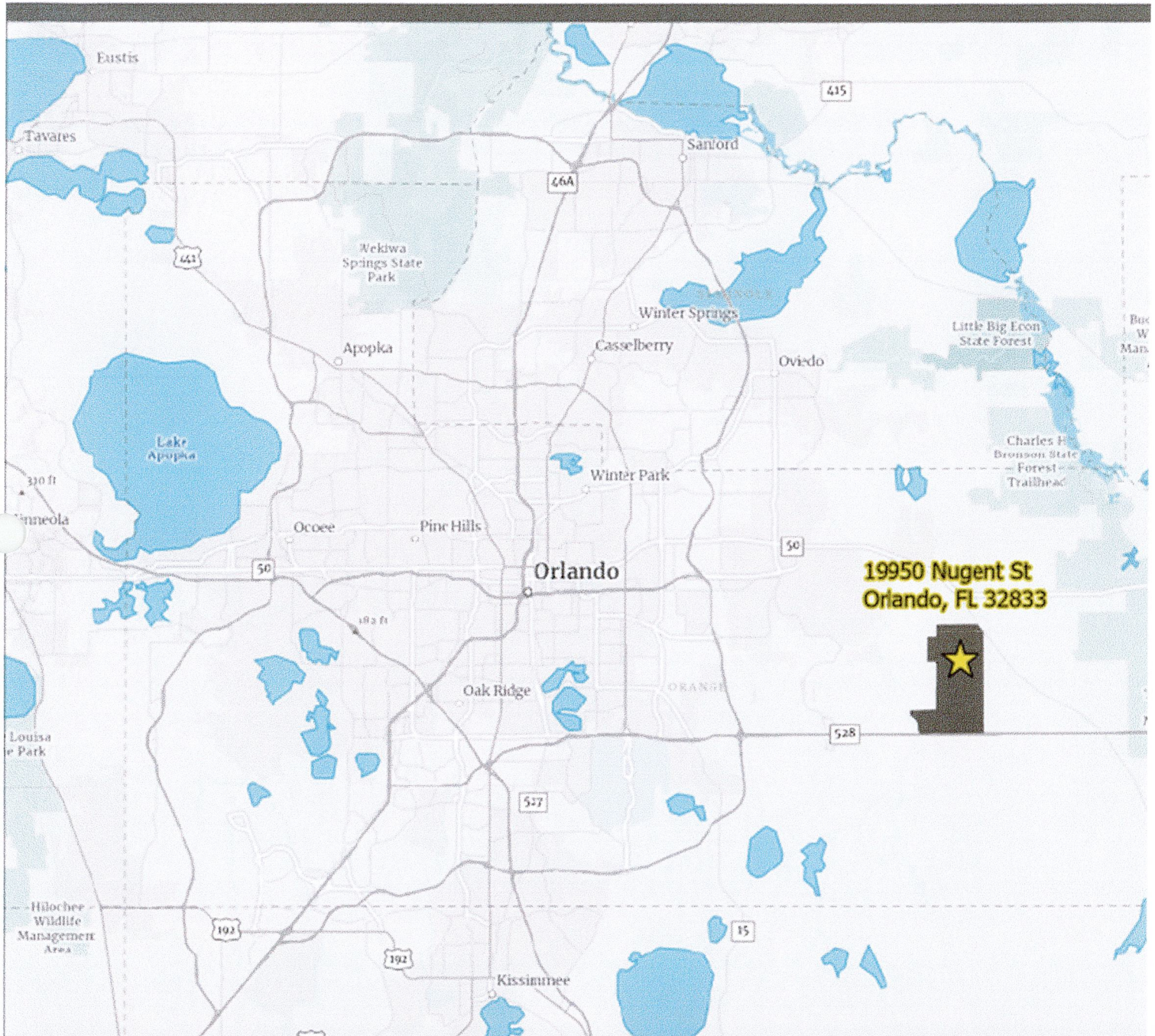
Mr. Dave Mauck was sworn into office.

The meeting was adjourned at approximately 7:25 P.M.



2026 Engineers Report

Ranger Drainage District



Wedgefield FL



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Introduction and Purpose

The Ranger Drainage District lies within the unincorporated portion of Orange County, Florida. All Public Rights-of-Way are owned and maintained by Orange County. Orange County is the jurisdiction for the permitting of all development in the Ranger Drainage District.

The purpose of the Engineer Report is to identify changes that have occurred within the District, to provide updates on maintenance, and to identify extensive improvements that have occurred in order to keep the water management system functioning as it was designed.

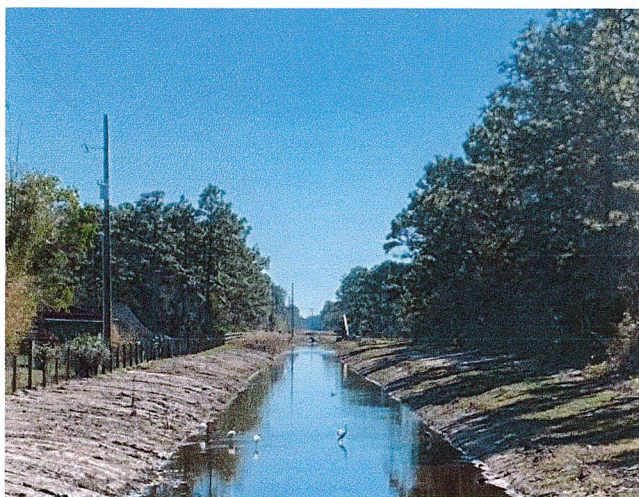
The year 2026 was a year for maintenance of lakes, canals, and roadside swales. There was no new construction of lakes or canals. The District's drainage system is 100% complete and in compliance with our St. Johns River Water Management District's permit.

As indicated on the District Growth Map, see attached exhibit, most lots not containing wetlands have been developed. The remaining lots are very challenging for development. After the permitted lots have received approval from OCEPD and have been mitigated, the problem of draining the lots is very complicated. I have attached drainage plans that show how complicated it is for the engineer to mitigate the property. The remaining wetlands, along with the setback buffer, leave little or no room for lot swales, etc. Some larger lots have been subdivided through the County and leave a smaller lot that must be treated individually.

The District requires each lot have a drainage plan. All drainage must go to the roadside swales for pre-treatment. No drainage can go into our canals directly, or into any abutting lots. Having building approval per County setback requirements leaves little or no room for side yard drainage. That, coupled with some remaining wetlands on these lots, is very challenging if not impossible to construct. Working with the engineer and surveyor in developing an acceptable plan is proving to be difficult at best.

Canal 6 Easement Cleaning – Before & After





Golf Course Bank Erosion – Before & After



Revised - Approved

2



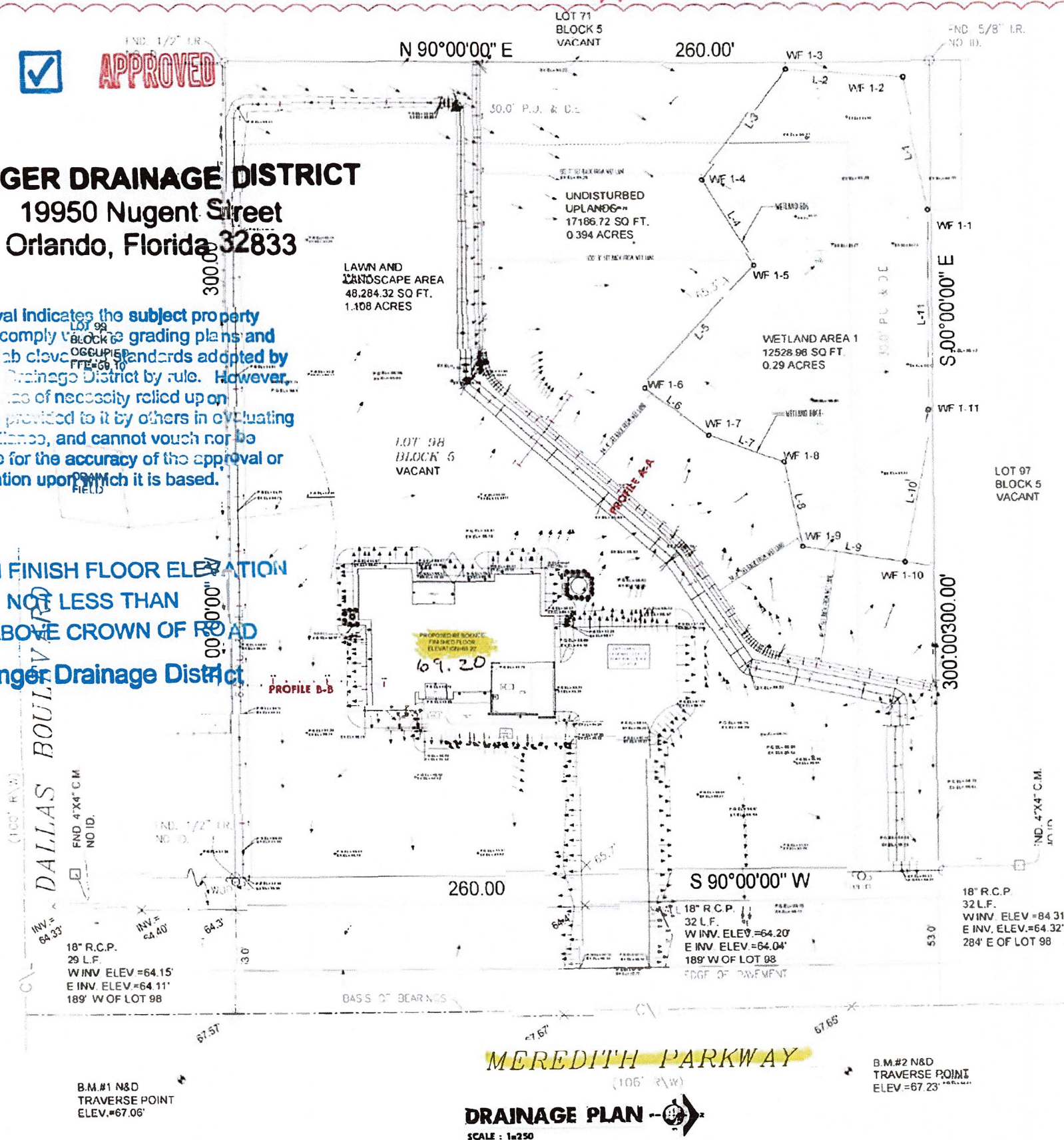
APPROVED

RANGER DRAINAGE DISTRICT

19950 Nugent Street
Orlando, Florida 32833

Approval indicates the subject property is to comply with the grading plans and standards adopted by the Ranger Drainage District by rule. However, the District is not responsible for the accuracy of the approval or the information upon which it is based.

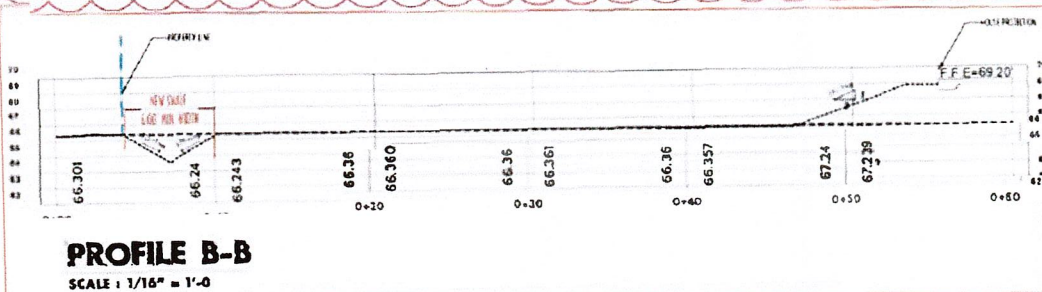
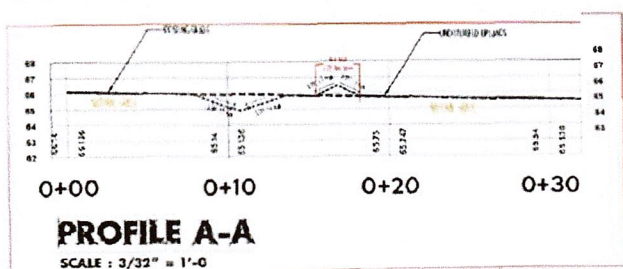
MINIMUM FINISH FLOOR ELEVATION
NOT LESS THAN
18" ABOVE CROWN OF ROAD
Ranger Drainage District



MEREDITH PARKWAY

DRAINAGE PLAN

SCALE: 1"=250'



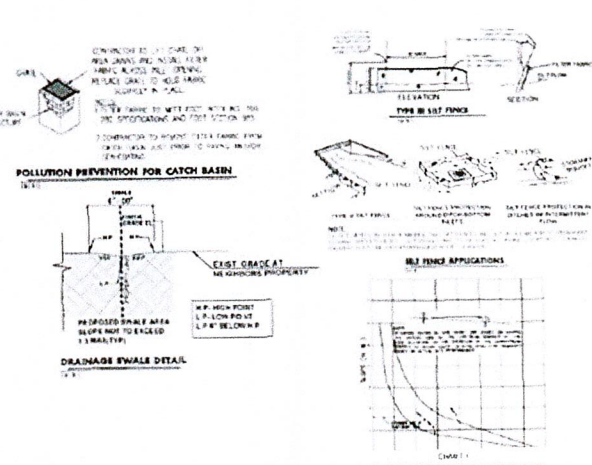
NOTES:

- NO STORM WATER DISCHARGES TO BE DIRECTED INTO ANY WETLANDS OR ADJACENT PROPERTIES.
- LOT DRAINAGE SHOULD NOT DISCHARGE DIRECTLY INTO ANY ADJACENT SECONDARY EASEMENTS OR CANALS.
- ON-SITE PONDS TO BE APPROVED BY DISTRICT AS PART OF GRADING PLAN.
- ON-SITE PONDS ARE ENCOURAGED BY THE RANGER DISTRICT TO BE PART OF THE STORMWATER SITE PLAN.
- POND SLOPES TO BE PER CROSS SECTION DETAIL SHOWN BELOW.
- INDICATES DRIVEWAY CULVERT. ASBESTOS CEMENT ELEVATIONS ARE REQUIRED. NO PAVEMENT OR CONCRETE SHALL BE INSTALLED OVER CULVERT UNTIL APPROVAL FROM THE DISTRICT.
- INDICATES MEASURED ELEVATION OF EXISTING, PROPOSED AND ASHULT.
- ADJACENT LOTS (IF NOT VACANT) SHALL SHOW EXISTING, PROPOSED AND ASHULT. ELEVATIONS FOR EXISTING HOUSES.
- EXISTING TREES TO REMAIN SHALL BE LOCATED AND SHOWN WITH TYPE AND TRUNK DIAMETER.
- A FIVE FOOT (5') SQUARE 500 AREA TO BE PLACED AT THE LOT LINE SPACING WHICH MEETS THE DISTRICT ALLOW FOR THE THICKNESS OF 500. ROADSIDE SHALE SHALL BE SODDED TO EDGE OF PAVEMENT.
- OTRIN TO BE CONSTRUCTED IF NECESSARY TO HOLD BACK WATER FROM FLOWING ONTO ADJACENT PROPERTIES.
- SILT FENCE SHALL BE LOCATED AWAY FROM PROPERTY LINES TO STAY CLEAR OF WETLANDS OR EXISTING TREES.

CONSTRUCTION POLLUTION PREVENTION PLAN

- SILT FENCE SHALL BE PROPERLY INSTALLED AT THE PERIMETER OF THE LIMITS OF DISTURBANCE PRIOR TO CONSTRUCTION.
- SYNTHETIC BALE (OR BALE TYPE BARRIER) AND SILT FENCE CHECK DAM BARRIERS SHALL BE INSTALLED IN ALL PROPOSED SWALES AT 200' INTERVALS AFTER SWALE CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
- CLEARING AND GRUBBING DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR.
- TOPSOIL STOCK PILES AND OTHER DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY CEASES FOR MORE THAN SEVEN (7) DAYS WILL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH WITHIN SEVEN (7) DAYS FROM THE DATE OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- PROPOSED SWALES ARE TO BE SODDED OR SEEDING IMMEDIATELY AFTER CONSTRUCTION PER THE APPROPRIATE CROSS SECTION.
- ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A LOCKED METAL CONTAINER IN ACCORDANCE WITH ORANGE COUNTY SOLID WASTE STANDARDS. SAID DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY.
- ALL HAZARDOUS OR TOXIC MATERIAL WILL BE PROPERLY CONTAINED AND DISPOSED OF IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- THIS SITE IS TO BE SERVED BY PORTABLE SANITARY FACILITIES DURING CONSTRUCTION. POST CONSTRUCTION WILL BE SERVED BY CONNECTION TO MUNICIPAL FACILITIES.
- THE EFFECTIVENESS OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE TEMPORARY EROSION/SEDIMENT CONTROLS SHALL BE CHECKED DAILY DURING CONSTRUCTION BY CONTRACTOR OR A DESIGNATED REPRESENTATIVE. IF STATE OF FLORIDA WATER QUALITY STANDARDS ARE NOT MET CORRECTION TO THE PROBLEMS SHALL BE MADE AS SOON AS PRACTICAL.
- SILT FENCING WILL BE INSPECTED FOR DEPTH OF SEDIMENT TEARS TO INSURE PROPER ATTACHMENT TO POSTS, AND TO

- ALL POLLUTION PREVENTION CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. REPAIRS WILL BE INITIATED IMMEDIATELY, BUT NOT LONGER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
- BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCING WHEN IT REACHES ONE-THIRD (1/3) OF THE HEIGHT OF THE FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAZARDOUS MATERIAL SPILLS OR POLLUTANTS ON SITE. SAID SPILLS SHALL BE CLEANED UP AS SOON AS THEY OCCUR.
- STORMWATER POLLUTION & BMPs PREVENTION SHALL BE IMPLEMENTED DURING CONSTRUCTION. IF ADDITIONAL TEMPORARY EROSION/SEDIMENT CONTROLS (NOT SHOWN ON THE CONSTRUCTION PLANS) ARE NECESSARY TO MAINTAIN COMPLIANCE WITH STATE OF FLORIDA WATER QUALITY STANDARDS, SUCH CONTROLS SHALL BE DESIGNED, SPECIFIED, LOCATED, AND INSTALLED AS REQUIRED BY ENGINEER/CONTRACTOR OR A DESIGNATED REPRESENTATIVE. ALL TEMPORARY CONTROLS SHALL PREVENT SEDIMENT AND OTHER DELETERIOUS SUBSTANCES FROM ENTERING UTILITY AND STORMWATER DRAIN ENTRANCES, DRAINAGE DITCHES, WATERBODIES, WETLANDS, AND ADJACENT PROPERTY.
- CONTRACTOR OR HIS AGENT WILL INFORM ALL SUBCONTRACTORS OF THE CONSTRUCTION POLLUTION PREVENTION PLAN AS SHOWN ON THIS SHEET AND VERIFY THAT ALL CONCERNED PARTIES ARE COMPLYING WITH THEM.
- ALL CONSTRUCTION ENTRANCES SHOULD BE CLEAR OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE Laid DOWN TO IMPROVE STABILITY AND SIMPLY MAINTENANCE. GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE A MINIMUM OF 12" THICK.
- ALL BARE AREAS WILL BE SODDED AS SOON AS PRACTICAL. HOWEVER, UNTIL PLACING OF SOD THESE AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST.



Revised Driveway + Drainage

LEGAL DESCRIPTION

THE WEST 150 FEET OF TRACT 4, ROCKET CITY UNIT 9A, AS RECORDED IN PLAT BOOK Z, PAGES 86, 87 & 88, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

SITE ADDRESS

19500 PEABODY ST, ORLANDO, FLORIDA 32833

JOB NUMBER

25-08-165-SP

SITE PLAN

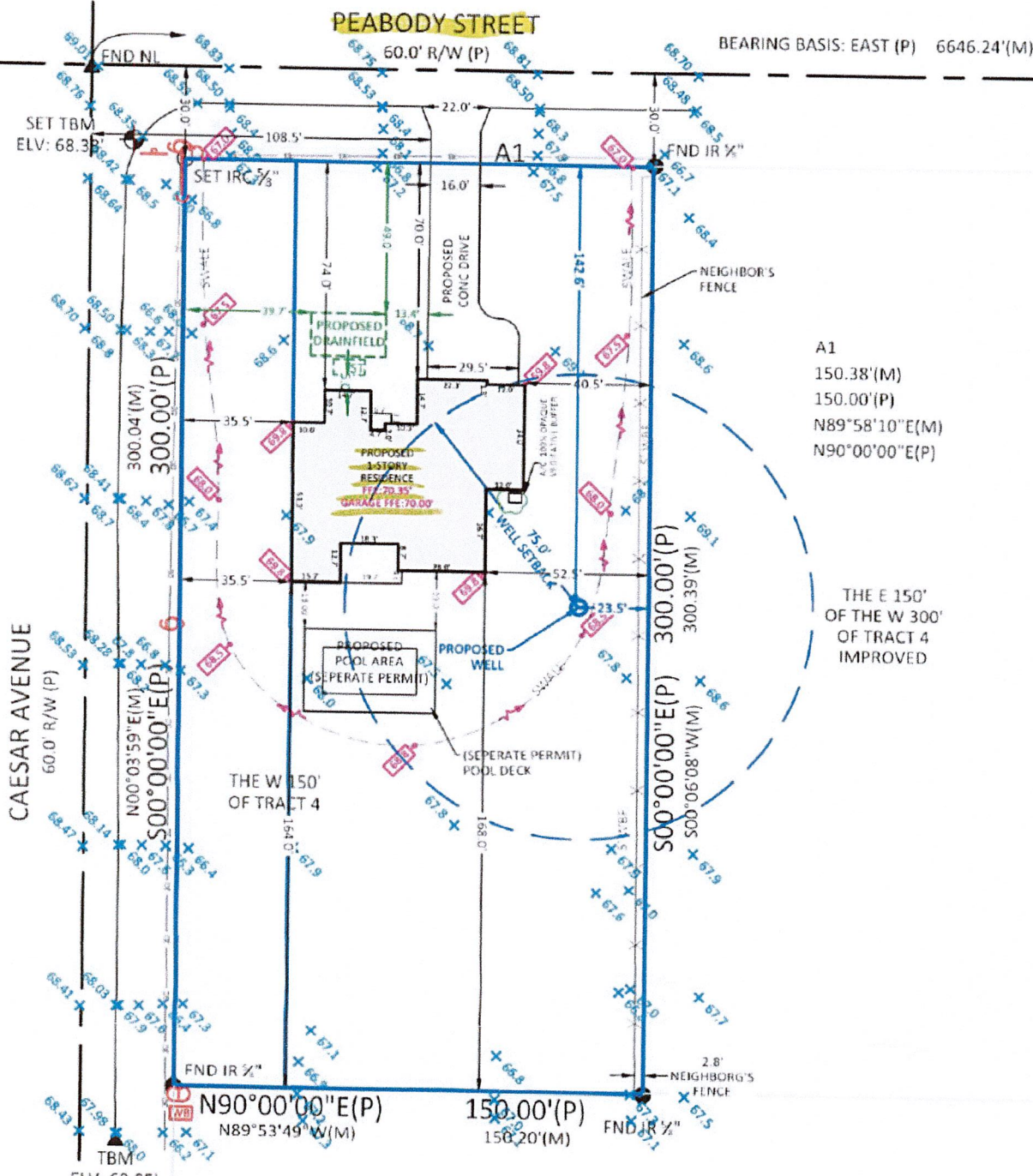
DRAWING:
25-08-165
PEABODY ST

PEABODY STREET

BEARING BASIS: EAST (P) 6646.24'(M)

AINSLEY AVE

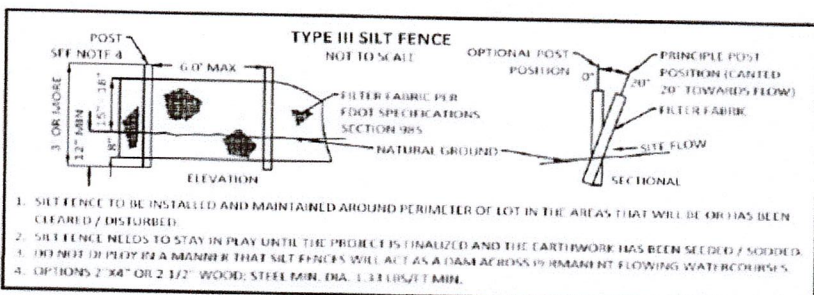
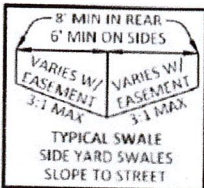
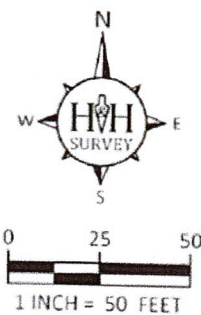
FND NL



A1
150.38'(M)
150.00'(P)
N89°58'10"E(M)
N90°00'00"E(P)

THE E 150'
OF THE W 300'
OF TRACT 4
IMPROVED

THE N 150'
OF TRACT 3
IMPROVED
FFE: 69.88'



THIS TOPOGRAPHIC SURVEY WAS PREPARED USING CONVENTIONAL GROUND SURVEYING METHODS, INCLUDING THE USE OF TOTAL STATIONS AND/OR GNSS EQUIPMENT, TO ACCURATELY LOCATE VISIBLE SURFACE FEATURES AND IMPROVEMENTS. EXISTING GROUND ELEVATIONS WERE DETERMINED THROUGH A COMBINATION OF FIELD MEASUREMENTS AND PUBLICLY AVAILABLE LIDAR DATA OBTAINED FROM THE U.S. GEOLOGICAL SURVEY (USGS) 3DEP PROGRAM. THE LIDAR DATA WAS USED TO AUGMENT FIELD OBSERVATIONS AND PROVIDE BROADER TERRAIN COVERAGE WHERE ON-SITE ACCESS WAS LIMITED OR IMPRACTICAL. ALL ELEVATION DATA HAS BEEN REVIEWED AND ADJUSTED AS NECESSARY TO ENSURE CONSISTENCY AND ACCURACY RELATIVE TO THE PROJECT'S CONTROL BENCHMARKS.

EXISTING GROUND ELEVATIONS WERE OBTAINED BY FIELD SURVEY. PROPOSED FINISHED FLOOR AND FINAL GRADE PLAN ELEVATIONS WERE PROVIDED BY OTHERS AND ARE SHOWN HEREON FOR PERMIT APPLICATION PURPOSES ONLY. THE PROFESSIONAL LAND SURVEYOR DID NOT PREPARE, DESIGN, VERIFY, OR CERTIFY THESE PROPOSED ELEVATIONS.

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 BASED ON THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS): TTVL, ORL1, & SNFD

UNLESS OTHERWISE NOTED, THE HORIZONTAL DATUM USED FOR THIS SURVEY IS NAD83(2011), EPOCH 2010.00. COORDINATES AND BEARINGS ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, IN THE APPLICABLE ZONE. POSITIONS WERE ESTABLISHED USING SURVEY-GRADE GNSS OBSERVATIONS PROCESSED THROUGH THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN) CORS/VRS NETWORK AND TIED TO THE NATIONAL SPATIAL REFERENCE SYSTEM (NSRS) AND EXPRESSED IN U.S. SURVEY FEET.

LEGEND & SYMBOLS

- | | |
|---------------------------------------|-----------------------|
| PSM = PROFESSIONAL SURVEYOR & MAPPER | SS = SANITARY MANHOLE |
| LB = LICENSED BUSINESS | W = WELL |
| LS = LICENSED SURVEYOR | WM = WATER METER |
| FND = FOUND | EM = ELECTRIC METER |
| SET = SET "LB 8791" | CN = CLEANOUT |
| IR[C] = IRON ROD [& CAP] | ER = ELECTRICAL RISER |
| NL[D] = NAIL [& DISK] | TR = TELEPHONE RISER |
| CM = CONCRETE MONUMENT | CR = CABLE RISER |
| TYP = TYPICAL | PP = POWER POLE |
| FFE = FINISHED FLOOR ELEVATION | V = VALVE |
| BFE = BASE FLOOD ELEVATION | IR[C] FOUND |
| BSL = BUILDING SETBACK LINE | 5/8" IRC SET |
| BM = BENCHMARK | ML[D] FOUND |
| PP = POWER POLE | NLD SET |
| CONC = CONCRETE | CM FOUND |
| SW = SIDEWALK | CM SET |
| EP = EDGE OF PAVEMENT | |
| CMP = CORRUGATED METAL PIPE | |
| INV = INVERT | |
| R/W = RIGHT-OF-WAY | |
| A/C = AIR CONDITIONER | |
| D.E. = DRAINAGE EASEMENT | |
| U.E. = UTILITY EASEMENT | |
| WBF = WOOD BOARD FENCE | |
| CLF = CHAIN LINK FENCE | |
| WVF = WHITE VINYL FENCE | |
| HWF = HOB WIRE FENCE | |
| BWF = BARBED WIRE FENCE | |
| [P] = PLAT (M) = MEASURED (C) = CALCD | |
- CONVERT UTILITIES SEPT./C/SEWER
- EXISTING PROPOSED

FIELD DATE: 09/08/2025

FIELD CREW:

LOT SIZE: 45,000 SQ. FT. ~ 1.03 AC

CLIENT NAME:
FLORIDA SUN PARTNERS

CLIENT FILE NUMBER:

SIGN DATE: 04/08/26

DRAFTER: E.H.

MODEL:

CERTIFICATIONS:
FLORIDA SUN PARTNERS II LLC

FEMA FIRM INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN ORANGE COUNTY UNINCORPORATED AREAS, MAP NUMBER 12095C0500F, DATED 9/25/2009.

SURVEYOR'S NOTES

ADDITIONS, MODIFICATIONS, OR DELETIONS TO THIS SURVEY ARE PROHIBITED WITHOUT WRITTEN CONSENT BY THE SIGNING SURVEYOR.

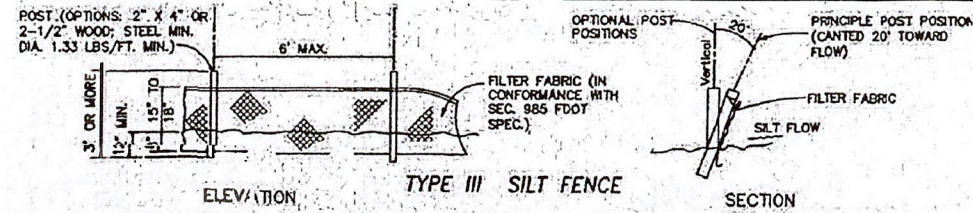
PROPERTY LINES SHOULD NOT BE RE-ESTABLISHED BY NOTED FENCES OR BUILDING TIES.

NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS WERE LOCATED, INCLUDING BUT NOT LIMITED TO BURIED UTILITIES, FOUNDATIONS, AND FOOTERS.

NO INSTRUMENTS OF RECORD REFLECTING OWNERSHIP OR ENCUMBRANCES WERE PROVIDED, EXCEPT AS NOTED, NOR DID THE SURVEYOR ABSTRACT THESE LANDS.

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS REQUIRED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES. THIS SURVEY IS NOT VALID WITHOUT EITHER THE SIGNED AND ORIGINAL RAISED SEAL OF THE SURVEYOR, OR DIGITAL SIGNATURE IF VIEWING A PDF COPY OF THE SURVEY. THE DIGITAL COPY OF THE SIGNATURE IS NOT VALID WHEN PRINTED.

Approved 5-30-23



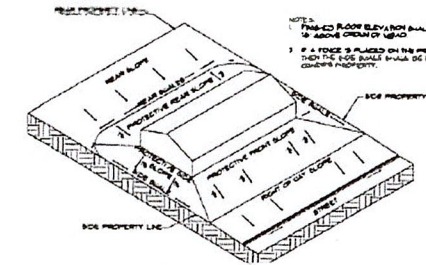
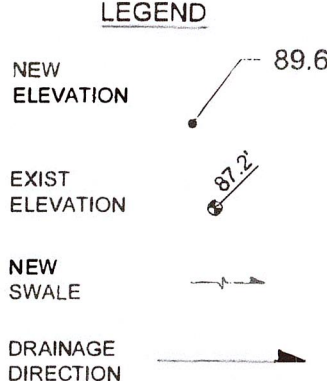
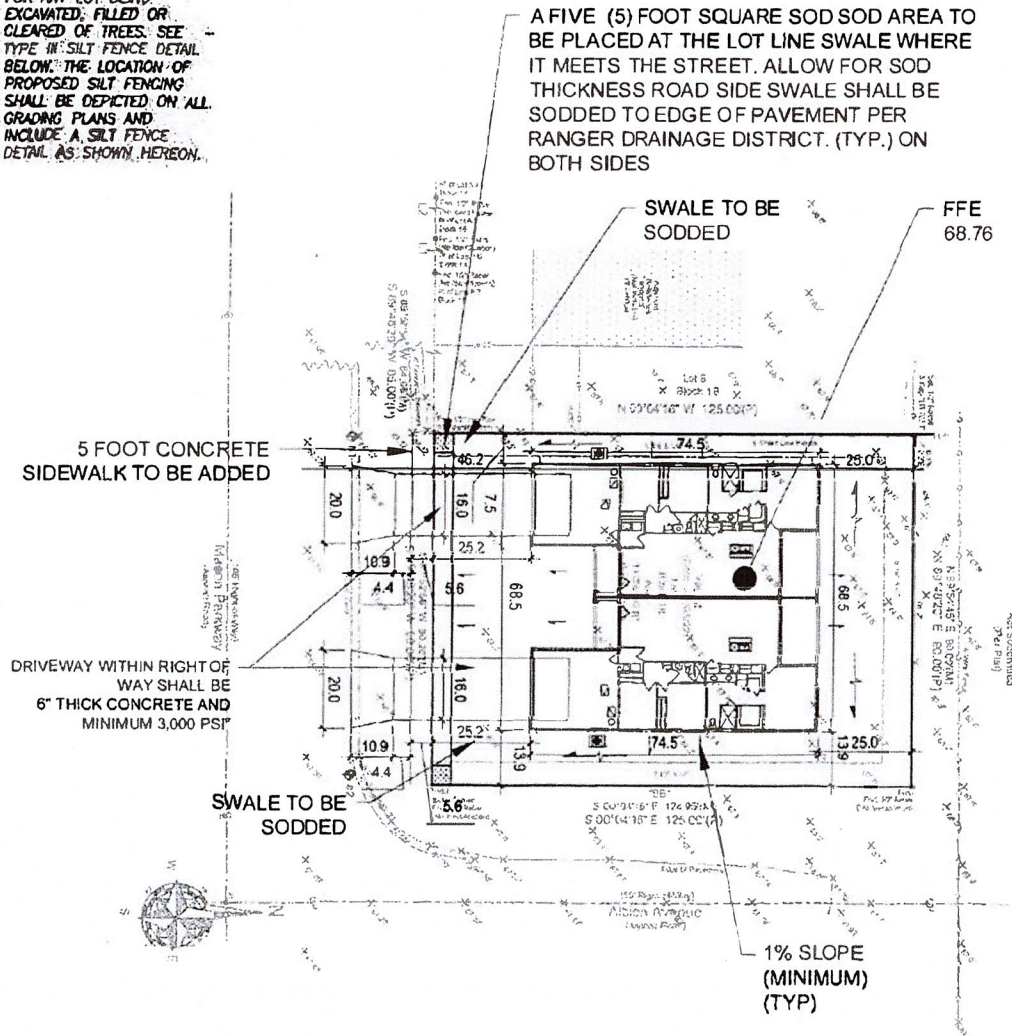
*SILT FENCE TO BE INSTALLED AND MAINTAINED AROUND PERIMETER OF LOT IN THE AREAS THAT WILL BE OR HAS BEEN CLEARED
*SILT FENCE NEEDS TO STAY IN PLACE UNTIL THE PROJECT IS FINALIZED AND THE EARTHWORK HAS BEEN SEEDDED OR SODDED.

RANGER DRAINAGE DISTRICT SILT FENCE REQUIREMENT WITHIN DRAINAGE DISTRICT

NOTE:
SILT FENCES ARE REQUIRED FOR ANY LOT BEING EXCAVATED, FILLED OR CLEARED OF TREES. SEE TYPE III SILT FENCE DETAIL BELOW. THE LOCATION OF PROPOSED SILT FENCING SHALL BE DEPICTED ON ALL GRADING PLANS AND INCLUDE A SILT FENCE DETAIL AS SHOWN HEREON.

Elevation: 66.20'
#2
Nail & Disk "LB 7623" in Asphalt
Elevation: 66.76'
-Benchmark Information-
Florida Department of Transportation
Elevations are based upon North American Datum 1988)

- NOTES:
- * NO STORM WATER DISCHARGES TO BE DIRECTED INTO ANY WETLANDS OR ADJACENT PROPERTIES.
 - * LOT DRAINAGE SHOULD NOT DISCHARGE DIRECTLY INTO ANY ADJACENT, SECONDARY EASEMENTS OR CANALS.
 - * ON-SITE PONDS TO BE APPROVED BY DISTRICT AS PART OF GRADING PLAN.
 - * ON-SITE PONDS ARE ENCOURAGED BY THE RANGER DISTRICT TO BE PART OF THE STORMWATER SITE PLAN.
 - * POND SLOPES TO BE PER CROSS SECTION DETAIL SHOWN BELOW.
 - * --- INDICATES DRIVEWAY CULVERT. ASBUILT INVERT ELEVATIONS ARE REQUIRED. NO PAVEMENT OR CONCRETE SHALL BE INSTALLED OVER CULVERT UNTIL APPROVAL FROM THE DISTRICT.
 - * --- INDICATES REQUIRED ELEVATION OF EXISTING, PROPOSED AND ASBUILT.
 - * ADJACENT LOTS (IF NOT VACANT) SHALL SHOW PATIO GRADES AND FINISHED FLOOR ELEVATIONS FOR EXISTING HOMES.
 - * EXISTING TREE(S) TO REMAIN SHALL BE LOCATED AND SHOWN WITH TYPE AND TRUNK DIAMETER.
 - * A FIVE FOOT (5') SQUARE SOD AREA TO BE PLACED AT THE LOT LINE SWALE WHERE IT MEETS THE STREET. ALLOW FOR THE THICKNESS OF SOD. ROADSIDE SWALE SHALL BE SODDED TO EDGE OF PAVEMENT.
 - * BERM TO BE CONSTRUCTED IF NECESSARY TO HOLD BACK WATER FROM FLOWING ONTO ADJACENT PROPERTIES.
 - * SIDE YARD SWALES TO BE ON PROPERTY LINES. SWALES MAY BE LOCATED INWARD AWAY FROM PROPERTY LINES TO STAY CLEAR OF WETLANDS OR EXISTING TREES.
 - * ALL WETLAND DELINEATIONS TO BE SHOWN ON SURVEY.
 - * SEPTIC TANK OR DRAIN FIELD CANNOT BE IN THE SIDE YARD OR REAR YARD EASEMENT.
 - * ALL FACILITIES WITHIN SIDE AND REAR YARD EASEMENTS SHALL BE UNDERGROUND EXCEPT THOSE ABOVE GROUND FACILITIES AS SHALL BE PERMITTED IN WRITING.



TYPE "A" LOT GRADING

- NOTES:
1. BUILDING SLAB SHALL BE 1.6' MINIMUM ABOVE THE CROWN CENTERLINE OF ROADWAY
 2. SIDE SWALES SHALL BE SIZED TO ACCOMMODATE A MINIMUM OF 10 YEAR, 1 HOUR RAIN EVENT. MINIMUM SWALE SIZE SHALL BE 6" DEEP WITH 3:1 SIDE SLOPES.
 3. ROOF GUTTERS AND LEADERS IN CONJUNCTION WITH YARD DRAINS AND INLETS ARE REQUIRED WHERE NECESSARY FOR ADEQUATE DRAINAGE.

NOTE:
ALL SWALES, SIDESLOPES AND BERMS TO BE SODDED

Site Plan

SCALE: 1/20

LEGAL DESCRIPTION:

LOT 9, BLOCK 18, ROCKET CITY UNIT 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 31, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Sent to Wilson 5-26-23
Approved 5-30-23



Ranger Drainage District

This approval indicates the subject property appears to comply with the grading plans and minimum slab elevations standards adopted by the Ranger Drainage District by rule. However, the District has of necessity relied upon information provided to it by others in evaluating such compliance, and cannot vouch nor be responsible for the accuracy of the approval or the information upon which it is based.

**MINIMUM FINISH FLOOR ELEVATION
NOT LESS THAN
18" ABOVE CROWN OF ROAD
Ranger Drainage District**

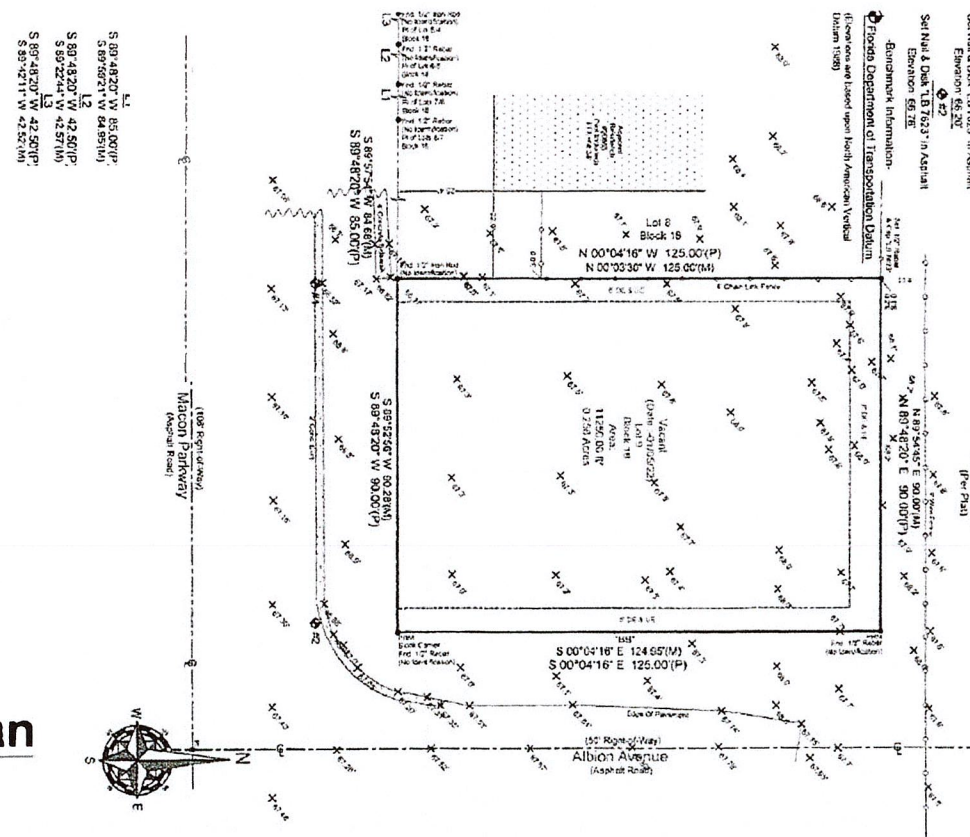
Existing Site Plan

SCALE: 1:20

NOTES:

- THE CONTRACTOR/SOWNER SHALL CHECK DIMENSIONS/SETBACKS AND ZONING REQUIREMENTS IF EXISTING CONDITION APPLY.
- ALL EXISTING CONDITIONS NEEDS TO BE VERIFIED BY CONTRACTOR BEFORE CONSTRUCTION HAS STARTED.

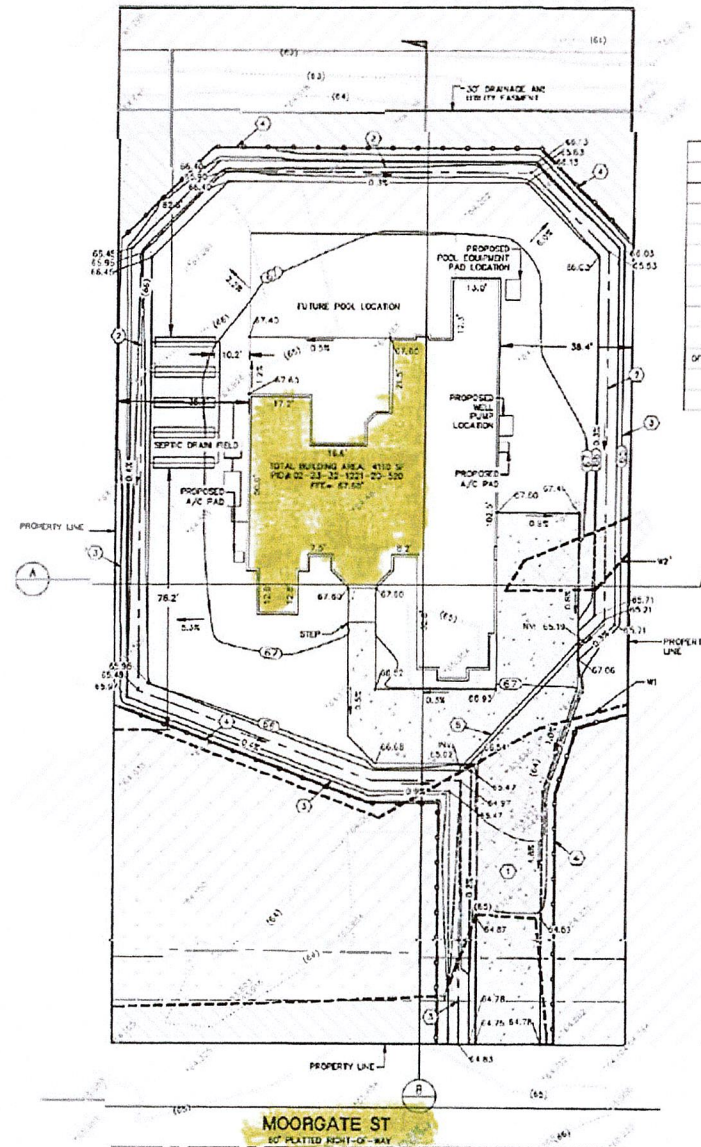
PLAN EXPIRES 1 YEAR FROM SIGNED SIGNATURE DATE OR THE NEW ERECTED DATE OF A MAJOR FLORIDA BUILDING CODE CHANGE WHICHEVER COMES SOONER.



LEGAL DESCRIPTION:

LOT 9, BLOCK 18, ROCKET CITY UNIT 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 31, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

The EOR is not responsible for any construction inspection or monitoring. The City/Township or a Third Party Inspection Agency other than the EOR is responsible for all the construction inspection and monitoring.



IMPERVIOUS AREA CALCULATIONS	
CLASSIFICATION	SQ. ARE. FT.
DRIVEWAY/SIDEWALK/ASPHALT	4,356
BUILDING	5,07

SSEA AREA			
DESCRIPTION	ACRES		SQUARE FEET
TOTAL AREA	1,653.0		45,004
TOTAL WETLAND AREA (W)	0.244		13.64
WETLAND AREA	0.6570		18.45
WETLAND W/ IMPACTS PRIMARY	0.0450		1.66
WETLAND W/ IMPACTS SECONDARY	0.2027		8.36
UNDISTURBED WETLAND	0.5556		6.78
WETLAND BUTTER IMPACT	0.1120		4.88
UNDISTURBED WETLAND	0.0767		3.47
WETLAND W/ IMPACTS SECONDARY W/	0.044		7.85
WETLAND W/ IMPACTS PRIMARY	0.009		4.2
WETLAND W/ IMPACTS SECONDARY	0.001		.45

- WETLAND IMPACT
AREA - PRIMARY
- WETLAND IMPACT
AREA - SECONDARY
- UNDISTURBED
WETLANDS
- UPLAND BUFFER
IMPACT
- UNDISTURBED
UPLANDS

1. ALL OUTFALLS BY FILL/DITCH BY MAY 1, 2006
2. THE SITE SHALL BE DESIGNED TO PROVIDE PROPER DRAINAGE AWAY FROM STRUCTURES AND TOWARD APPROVED DRAINAGE AREAS IN ACCORDANCE WITH ORANGE COUNTY REQUIREMENTS
3. THE OVERALL LOT SHALL BE GRADUED TO MAINTAIN POSITIVE DRAINAGE; LOCAL DRAINAGE AREAS MAY BE LESS THAN 1/4" TO 1/2" DUE TO SITE AND ENVIRONMENTAL CONSTRAINTS
4. SEWAGEWATER FLOWERS SHALL NOT BE DIRECTED INTO ADJACENT PROPERTIES IN A MANNER THAT CAUSES SEWERAGE BACKUP
5. EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE

FINISHED FLOOR ELEVATION SHALL BE SET TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.
 ELEVATES ADJACENT TO STRUCTURES SHALL BE SET AWAY FROM BUILDINGS AT A MINIMUM OF 2% WHERE PRACTICABLE

7. DRAINAGE SHALL BE COMPLETED VIA SHALLOWS, SLOPED SHALLOWS DESIGNED FOR LOW-VELOCITY FLOW.
8. SHALLOWS SHALL BE BROAD AND SHALLOW IN CONFIGURATION AND SHALL BE STABILIZED WITH SO2.

SWALES SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE WITHIN THE CONSTRAINTS. MINIMUM SLOPES MAY BE LESS THAN 1% WHERE NECESSARY TO AVOID IMPACTS TO PROTECTED AREA. NO CONCENTRATED DISCHARGE IS PROPOSED; DRAINAGE SHALL OCCUR AS SHEET FLOW WHERE POSSIBLE.

- * NO DRAGING, FILL OR DISTURBANCE SHALL OCCUR WITHIN DESIGNATED WETLAND AREAS EXCEPT AS PERMITTED.
- * DRAGING NEARBY TO WETLAND AREAS SHALL BE PLANNED TO MAINTAIN EXISTING GRADE WITHOUT CREATING CONCENTRATED DISCHARGE.
- * ALL WORK SHALL COMPLY WITH APPLICABLE WETLAND BUFFER REQUIREMENTS AND PERMITS CONDITIONS.

"14. ALL FARMHOUSE SHALL BE CONSIDERED UNRESERVED QUANTITIES SHOWN ARE APPROXIMATE AND PROVIDED FOR INFORMATION ONLY.
"15. ALL CAUSING, RESOLUTION, AND LINES SHOWN ON THE PLANS ARE APPROXIMATE AND SUBJECT TO FIELD ADJUSTMENT BASED ON EXISTING CONDITIONS.
"16. ALL FILL MATERIAL SHALL BE CLEAN, SATISFABLE MATERIAL FREE OF ORGANIC OR DESTRUCTIVE SUBSTANCES.
"17. FILL SHALL BE PLACED AND COMPACTED TO PROVIDE A STABLE SURFACE SUITABLE FOR THE INTENDED USE.
"18. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER VOLUMES CONTENT AND COMPACTION OF ALL EARTHWORK.

19. ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROVIDE POSITIVE DRAINAGE AND SHALL BE FREE OF PONDING.
20. ALL DISPOSED AREAS SHALL BE STABILIZED WITH SOO OR APPROVED VEGETATION IMMEDIATELY UPON COMPLETION OF GRADING.
21. CONTRACTOR SHALL MAINTAIN APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST, DEBRIS, AND TRAFFIC OF MATERIALS ADJACENT TO HIGHWAY.
23. ALL EXCESS MATERIAL SHALL BE DISPOSED OF IN A LEGAL AND APPROVED MANNER.

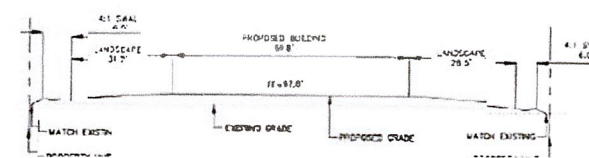
1. REMOVALS NECESSARY TO THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT BY THE PLANS MAY BE CONSIDERED INCIDENTAL WORK.
2. THE QUANTITIES QUOTED HEREIN ARE THE BEST ESTIMATE OF THE ENGINEER. THE CONTRACTOR SHALL MAKE HIS OWN INDEPENDENT ESTIMATE OF QUANTITIES AND BASIS THEREON.
3. THE GENERAL AND SITE-SPECIFIC NOTES ARE TO ACCOMPANY THE ENGINEER'S TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS. IF ANY DISCREPANCY IS FOUND TO EXIST BETWEEN THESE NOTES AND PROJECT TECHNICAL SPECIFICATIONS OR PROVISIONS, THE MORE SPECIFIC SHALL APPLY.

THE CONTRACTOR SHALL PROVIDE ANY NECESSARY TRAFFIC CONTROL DEVICES REQUIRED FOR THE CONTROL OF VEHICLE AND PEDESTRIAN TRAFFIC AFFECTED BY THE CONSTRUCTION.

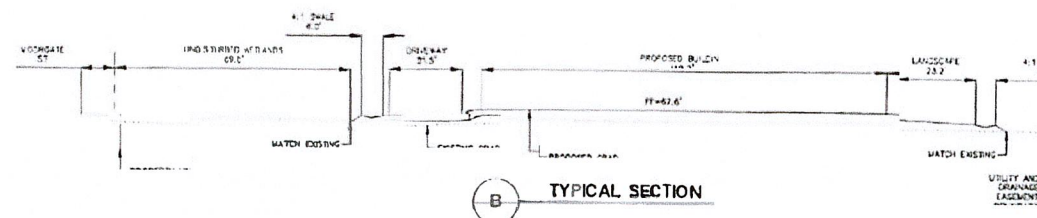
SURVEY VOICES:
DESIGNER RATHER DO NOT FEEL WORTHY THE SPACE.

PROJECT PROPERTY IS NOT WITHIN FEMA'S REGULATORY FLOOD LIMITS.

ACCORDING TO WISCONSIN DEPT. OF NATURAL RESOURCES, THE 1985 BENTON FINE SAND (TYPE A/D), 36.5% ST. LOUIS FINE SAND (TYPE B/D), AND 14.5% MICHIGAN FINE SAND (TYPE B/D) RECLAIMS IMPACT AREA IS ALMOST ENTIRELY FINE SAND.



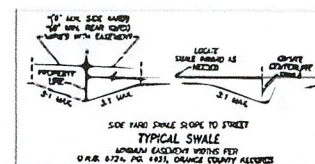
TYPICAL SECTION



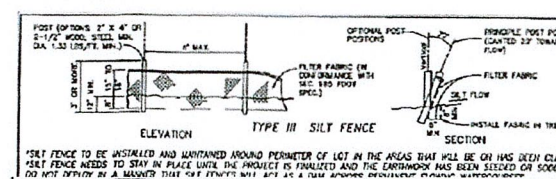
TYPICAL SECTION

- ALL WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH "LANDFILL DESIGN AND CONSTRUCTION STANDARDS FOR WATER DISTRIBUTION SYSTEMS (SUBC)" LATEST EDITION.
- NOT ALL NOTES USED ON THIS SHEET -

- 1 NEW CONCRETE DRIVEWAY
- 2 CONSTRUCT CANTERED DERM WITH 4:1 MAX SLOPE
- 3 CONSTRUCT SODDED GRALE WITH 4:1 MAX TOPSOIL
- 4 (WIDE VARI) WITH SLOPE 3:1 TO 8:1
- 5 INSTALL (HYPHAWAY) 21" DIA
- 6 CONSTRUCTION FENCE 5 TO BE REPLACED BY WILDLIFE FRIENDLY FENCE AFTER CONSTRUCTION
- 7 INSTALL "3" ADS/ACROD/WIDE OR HPPR CLASTER
- 8 (WIDE VARI) WITH SLOPE 3:1 TO 8:1



TYP. SIDE YARD SWALE DETAIL



IYP. SILT FENCE DETAIL

LEGAL DESCRIPTION: LOT 52, BLOCK 2, CAPE ORLANDO ESTATES UNIT 31A, ACCORDING TO THE PLAT THERE OF AS RECORDED IN PLAT BOOK 3, PAGES 110 AND 111, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Legend

- Johnson Basin
- Lots
- Vacant
- Developed

Basin 8
Total Acres: 594.8
Total Buildable Acres: 516.5
Developed Acres: 251.2 (48.6%)
Vacant Acres: 265.3 (51.4%)

Basin 5
Total Acres: 1,756
Total Buildable Acres: 1,525.3
Developed Acres: 834.4 (51.3%)
Vacant Acres: 691 (38.7%)

Basin 4
Total Acres: 268.26
Total Buildable Acres: 220.9
Developed Acres: 93.25 (42.7%)
Vacant Acres: 127.65 (57.3%)

Basin 3
Total Acres: 1,508.3
Total Buildable Acres: 1424
Developed Acres: 760.4 (53.4%)
Vacant Acres: 663.6 (46.6%)

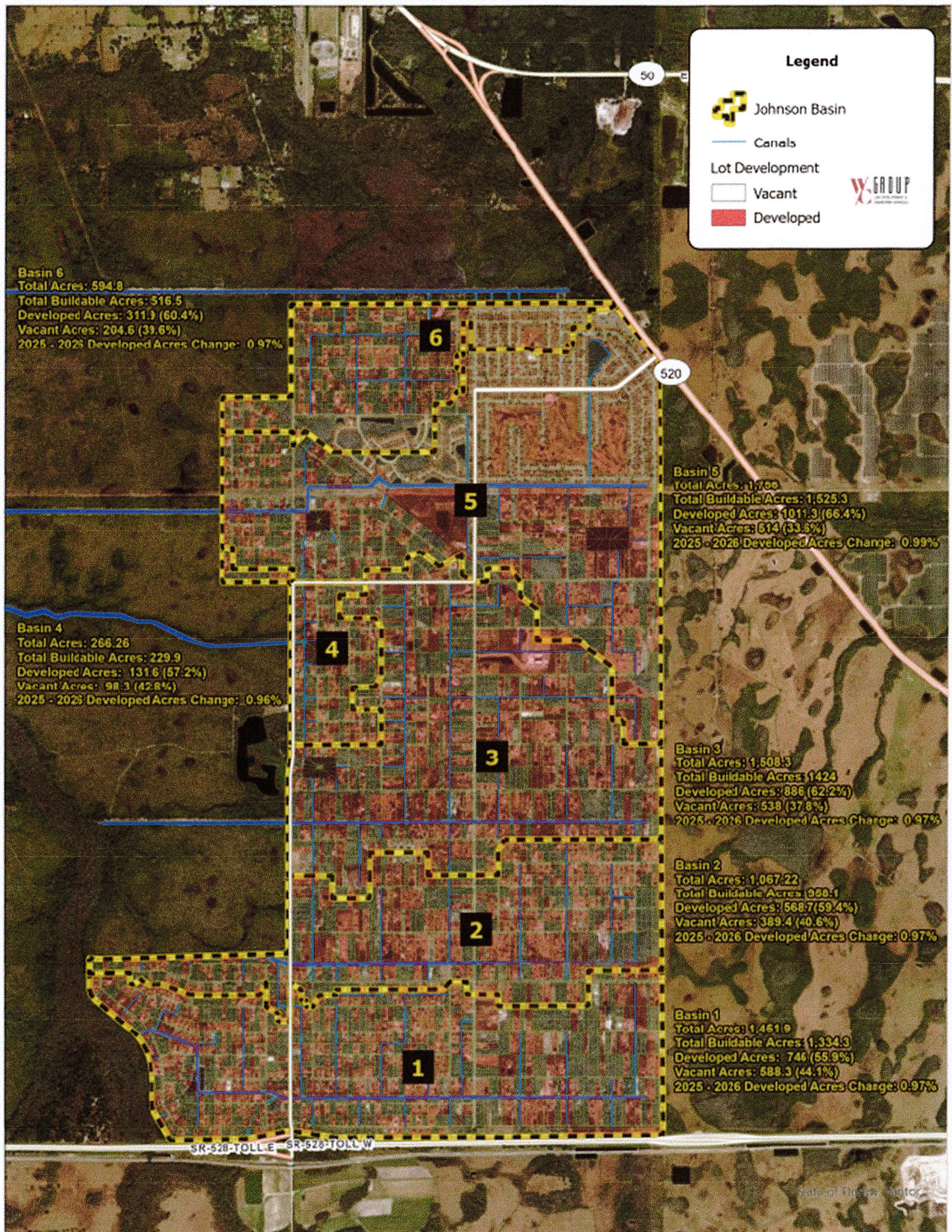
Basin 2
Total Acres: 1,067.22
Total Buildable Acres: 953.1
Developed Acres: 477.2 (49.8%)
Vacant Acres: 475.9 (50.2%)
2013 Developed Acres: 384 (37.8%)
2013-2020 Developed Acres Change: 12% Increase

Basin 1
Total Acres: 1,451.0
Total Buildable Acres: 1,314.3
Developed Acres: 559.9 (42.7%)
Vacant Acres: 754.4 (57.3%)
2013 Developed Acres: 393.4 (29.6%)
2013-2020 Developed Acres Change: 15.1% Increase

Ranger Basins 2020 Aerial Imagery

0 0.125 0.25 0.5
Miles





Annual Land Owners' Meeting

June 3, 2026

Ranger Drainage District

Treasurer's Report

The following Treasurer's Report is submitted for the June 3, 2026 Ranger Drainage District's Annual Land Owners Meeting.

District's Financial State

District's Financial State is stable and strong and during the fiscal year ended September 30, 2025, and so far, this year District has not had any financial emergencies or hardship.

Audit for Fiscal Year Ended September 30, 2025 Financials

District's auditors Grau & Associates, Certified Public Accountants has completed the audit of the financial statements of Ranger Drainage District for fiscal year ended September 30, 2025 and has issued a clean and unqualified report.

Budget for Fiscal Year Ended September 30, 2027

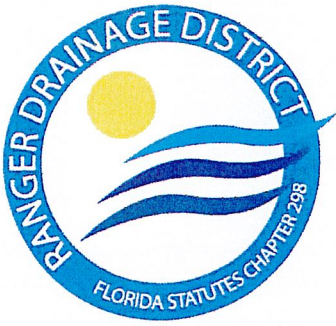
The Board of Supervisors of District have approved the preliminary budget for fiscal year ended September 30, 2027. Due to an ongoing law suit and substantial increase in legal fees and increase in other cost The budget has increased by 14%

Ajay K. Agarwal

Treasurer

Ranger Drainage District

June 3, 2026



June 4, 2026

Ranger Drainage District
19950 Nugent Street
Orlando, Fl. 32833

Following are the results in connection with the Annual Landowners Meeting that was held on Wednesday, June 3, 2026 at 6:30 P.M. The meeting was held at the Ranger Drainage District office located at 19950 Nugent Street Orlando, Florida. This election was for the purpose of filling one Supervisor position for a three year term:

Ballots tabulated: 64

ELECTION RESULTS

Candidate Dave Mauck	205 Votes
Candidate Gary Mittan	15 Votes
Abstain	0 Votes
Write In:	0
For Compensation	168 Votes
Against Compensation	35 Votes
Abstain Compensation	5 Votes
Disqualified:	0

Respectfully submitted,

Dawn R. Mullins
Supervisor of Election
Ranger Drainage District

Election Results 2026

Candidate Mauck	Candidate Mittan	Abstain	Write-In
205	15	0	0



For Compensation	Against Comp	Abstain Comp
168	35	5

